



**MISSOULA COUNTY
INVITATION FOR BID ADDENDUM #1**

IFB NAME: SECURITY UPGRADE AND TENANT IMPROVEMENT AT THE MISSOULA COUNTY
COURTHOUSE/ANNEX

IFB DUE DATE: October 22ND , 2025 @ 4:00p.m.

ADDENDUM NUMBER: 1

To All Offerors:

Attached are written questions received in response to the IFB. These questions, along with the County's responses, become an official amendment to this IFB.

All other terms of the subject "Invitation for Bid" remain as previously stated.

Addendum format is as follows:

A&E Architects Clarifications - Page 2-6

Site-Walk Sign in Sheets - Pages 7-10

Acknowledgement of Addendum:

The offeror for this solicitation must acknowledge receipt of this addendum. This page must be submitted at the same time as the bid or the bid may be disqualified from further consideration.

I acknowledge receipt of Addendum No. 1

Signed: _____

Company Name: _____

Date: _____



Addendum

Addendum Number: 01

Date Issued: 17 October 2025

Project Name: Missoula County Courthouse
Annex North Entry Remodel &
Second Floor Self Help Move

Project Number: 24169.10/25004.00

Pages in Addendum: 10

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Crystal Herzog, AIA

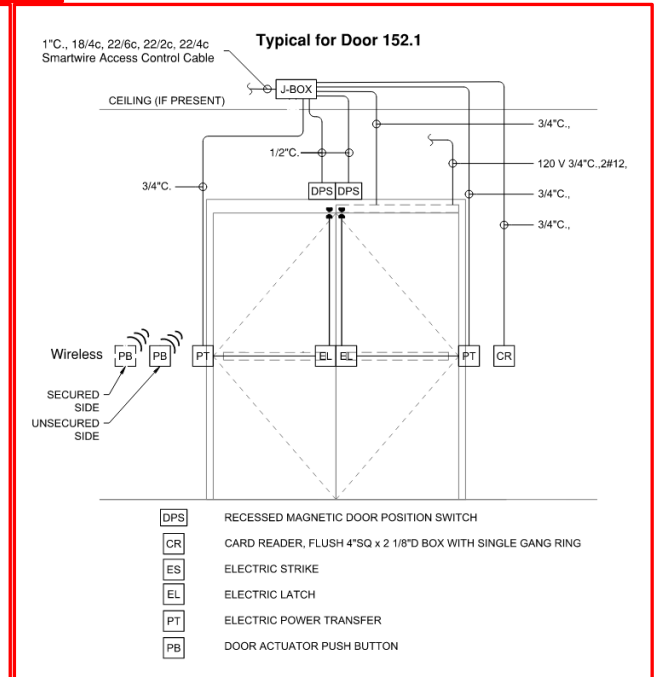
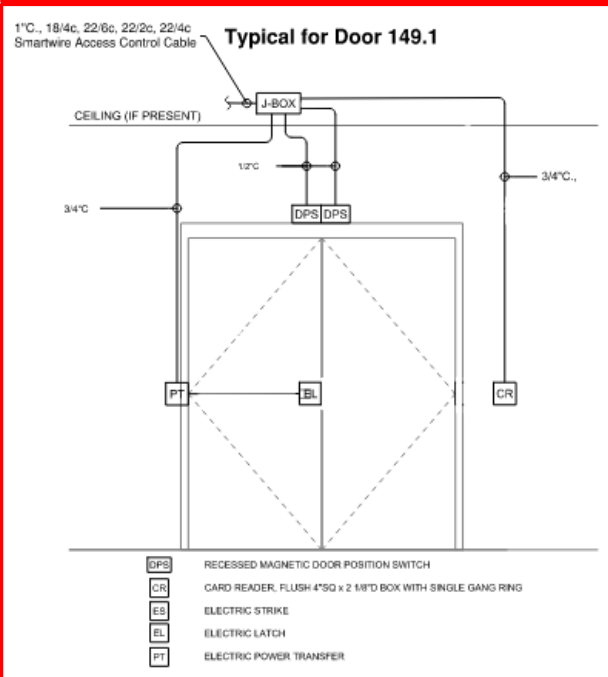
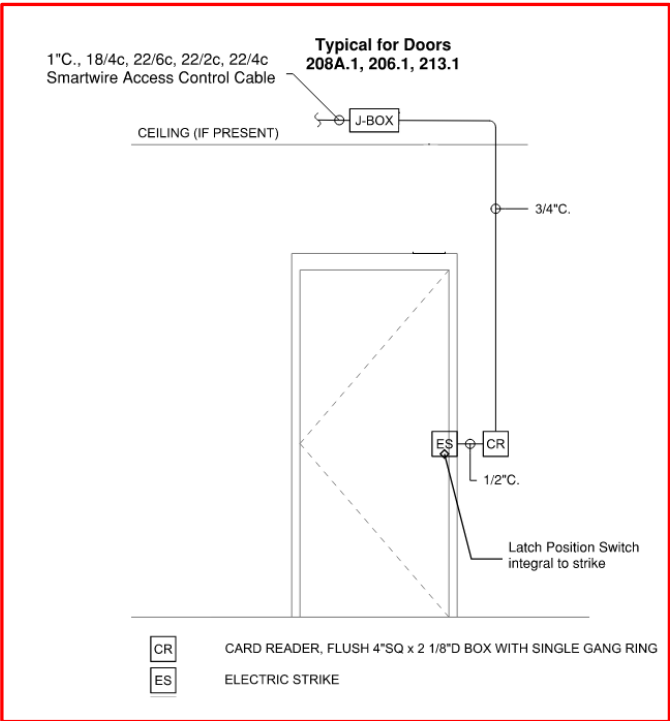
Issued To: Bidders of Record

Clarification to Contract Documents:

1. **Elevator Call Button:** The travertine wall panel behind the elevator call button in the Courthouse Annex North Entry Remodel will be removed during work (Keynote 24 Sheet D9.1) due to travertine wall panel seams and removal required for cutting materials. The location of the Elevator Call Button will remain and does not interfere with layout of new wall. Coordinate with reinstallation of altered travertine wall panels and coordinate with existing travertine wall panels and new / modified travertine wall panels and wall construction per Detail 1 Sheet A6.1
2. **Offset on Removed Storefront - West Door Frame:** Removal of the existing Storefront System (Detail 6 and Detail 7 Sheet D9.1) require coordination with existing travertine wall finishes in the Courthouse Annex North Entry Remodel includes but is not limited to:
 - a. Cleaning and patching existing travertine believed to be under the East Jamb of the Door Frame, field verify conditions following removal of the existing East Jamb and Door Frame.
 - b. The West Jamb Door Frame shown in Detail 1 and Detail 12 Sheet A6.1 do not indicate the existing field condition offset of approximately 1-inch between the interior (Lobby 140 side) travertine and exterior (Vestibule 141 side) travertine. Interior travertine will be removed. Coordinate removal of existing finishes below interior travertine to allow flush reinstallation with exterior travertine including detailing floor and ceiling finishes. Field coordinate final conditions.
3. **Wainscot Travertine:** Travertine below the service desk security counter in the Courthouse Annex North Entry Remodel will be sized to fit counter height; salvage all remaining travertine to the Owner.
4. **Marble Wall Base:** Source marble wall base to match existing marble wall base in the Courthouse Annex North Entry Remodel as required to complete work indicated on Detail 5 and Detail 12 Sheet A6.1.
 - a. Empress Green Marble from Stone Collection, Denver CO. Randon Veining. Crosscut. Polished. Installation orientation matching Annex 1st Floor. Thickness: 3cm +/- 1-3/16". Length: minimum 4'0"

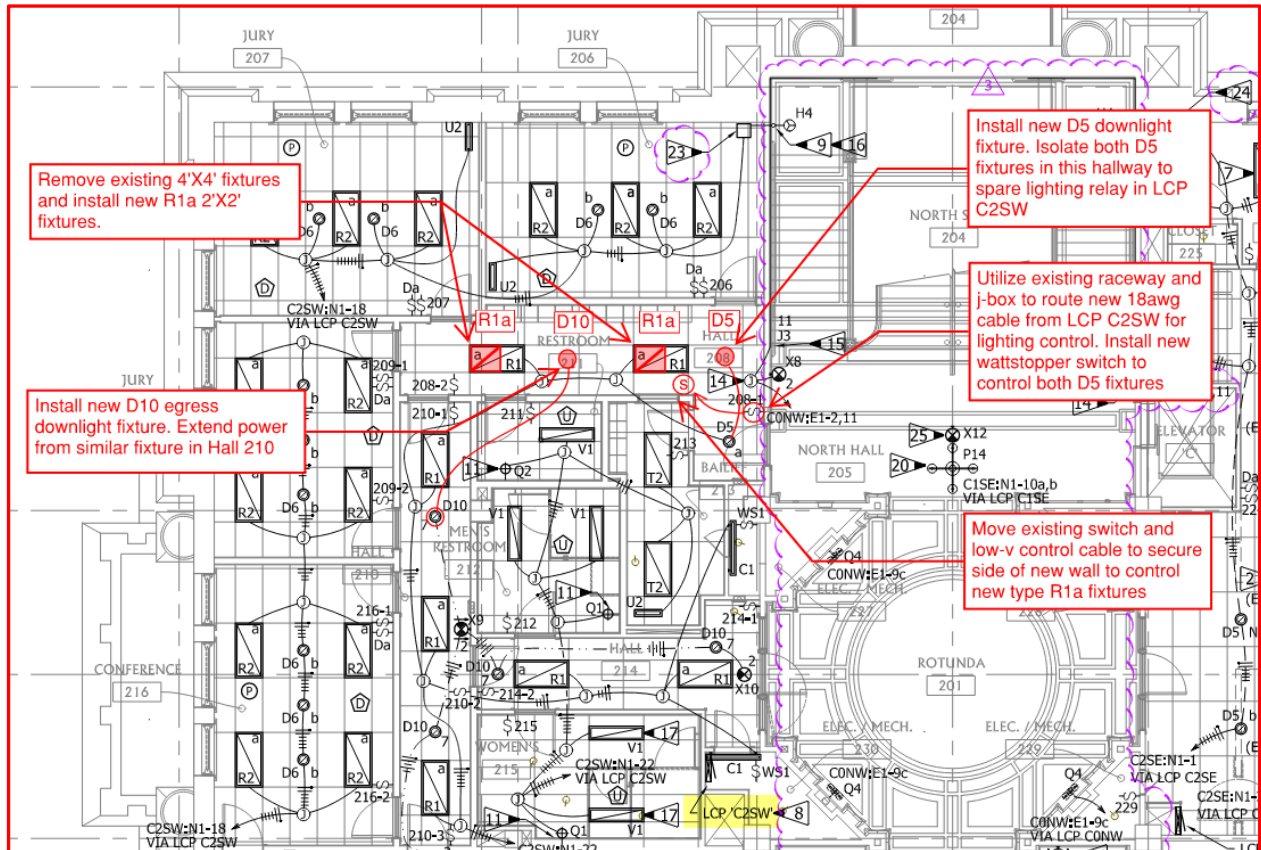
5. **ACT & Attic Stock:** The Owner has no attic stock ACT for the areas of work. The bidder shall provide the Owner with new ACT as required and open remaining box attic stock in addition to one (1) unopened box of ACT attic stock for each ACT type:
- a. Courthouse Annex North Entry Remodel ACT: Armstrong 1755 Fine Fissured Open Plan Square Lay-in and Armstrong Prelude XL 15/16" Exposed Tee, Seismic Category: D; Field verify with existing conditions.
 - b. Historic Courthouse Self Help Move ACT: USG, Mars ClimaPlus Panels, Fineline Bevel and USG Fineline DXF Grid System; Field verify with existing conditions.
6. **Courthouse Annex North Entry Remodel Security Desk:**
- a. Sheet E1.1: EH-1 w/in the new Security Desk 154 is indicated to be installed to the south concrete wall of Room 154. Locate EH-1 on the east wall of Room 154 (Detail 7 Sheet A6.1 and Detail 9 Sheet M2.1), below the security desk counter, between electrical receptacles.
 - b. Sheet M1.0 - Addition to Alternate Mechanical Scope.
 - i. New VAV 1.76 to receive Delta control package that replicates identical equipment elsewhere in the building.
 - ii. The building automation control package scope falls under Electro Control. Electro to provide a number to interested general contractors.
 - c. Detail 16 Sheet A6.1: Provide two (2) 1-1/2" diameter black grommets to worksurface of security desk, field coordinate grommet locations with Owner.
 - d. Detail 15 Sheet A6.1: Field coordinate final installation location of Quickserve Deal Tray 11"x10" to ensure hand access both sides of tray.
 - e. Detail 15 and Detail 7 Sheet A6.1: Details graphically indicate a curved cutout to the bottom edge of new glazing panel, field coordinate size with Quickserve Deal Tray to ensure hand access each side of deal tray.
7. **Electrical Conditions:**
- a. The fire alarm scope of work falls under the responsibility of the general contractor. PCI to provide a number direct to interested general contractor.
 - b. The access control contractor for this project is Electro Controls. The door access scope of work is no longer excluded and will fall under the responsibility of the general contractor. Card readers, control modules, door position switches and other accessories to bring the new doors into the existing access control system is the responsibility of the Access Control Contractor. Electro Controls to provide a number direct to interested general contractor.
 - c. Maintain existing LED Emergency Lighting Unit located on the north wall of Hall 152 of the Courthouse Annex North Entry Remodel.
 - d. Detail 1 Sheet E2.1 Keynote 6 and Detail 2 Sheet E2.1 Keynote 6 indicate relocation of an existing 2x4 Recessed Luminaire with Integral Emergency Power Source. Relocate 2x4 Recessed Luminaire to maintain condition and Integral Emergency Power Source in the Courthouse Annex North Entry Remodel.
 - e. Door and Hardware Alternate

8. Typical Door Access Control Rough-in:



9. **Self Help Move Hall 208 and 208 A:** Contractor to remove existing 2'x4' recessed luminaires and provide and install new light fixtures as indicated below. Coordinate relocation of sprinkler heads if needed. Relocate existing low-v light switch and add new low-v switch to control lights in entry hallway as shown below. New fixtures to match existing, or as close as possible.

- a. Type D5: Cree KR4R-20L-940-12-10V, KR4T-SSGC-WF
- b. Type D10: Cree KR4R-13L-940-12-10V, KR4T-SSGC-WF
- c. Type R1a: H.E Williams DIG-S22-L32-840-WPR-Eqclips-DIM-120



Equivalent Products:

Reference 'Section 4 – Equivalent Products' of the IFB for criteria that must be met when bidding a functionally equivalent product. For example, if another manufacturer other than what was specified, is included in the bid for the storefront assembly, the criteria of Section 4 must be met. Contractor is responsible for dimensions to be confirmed and correlated to the job site; for microprocessor controls and configuration meeting Owner's requirements; for selected options; for information that pertains solely to the fabrication processes or to techniques of construction; and for coordination of work of all trades.

Questions Received from Bidders:

1. Terrazzo:

- a. Sheet A2.1 in the areas called out with the first hatch, does that terrazzo need to be refinished under the current walk off mat? *Following removal of the walk-off mat, the terrazzo floor shall be prepped per manufacturer specifications to provide best adhesion of new walk off matt. Where exposed terrazzo floor will be left visible, it shall be cleaned to remove carpet glues and adhesives and refinished to match the adjacent existing exposed terrazzo floor finish, reference NTMA's "Restoration of Terrazzo Guide Specification".*
- b. What is the schedule? Is the terrazzo refinishing prior to the construction of the new door and wall? *Coordinate schedule and sequence of operations with the General Contractor.*
- c. Are there any photos from the walkthrough? *Reference the photos provided on Sheet D9.1 and specifically Detail 8 that shows the area where the terrazzo floor will be exposed.*
- d. Do we have any specs? *Reference NTMA's "Restoration of Terrazzo Guide Specification". Cleaning and refinishing the terrazzo floor is based on best practices that require removal of existing glues and adhesives in addition to wet grinding, polishing, sealing/burnishing to match existing terrazzo floor finishes.*
- e. If there are repairs can we use color match epoxy or do we need to use cement? *Reference NTMA's "Restoration of Terrazzo Guide Specification" for determination of repairs and possible actions to be taken. If repairs are necessary, they will be addressed by Change Order in the future.*

END



Date: 10/09/25

**Security Upgrade and Tenant Improvement at the Missoula County
Courthouse/Annex
Pre-Bid Walkthrough**

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Date: 10/09/25

**Security Upgrade and Tenant Improvement at the Missoula County
Courthouse/Annex
Pre-Bid Walkthrough**

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Date: 10/09/25

**Security Upgrade and Tenant Improvement at the Missoula County
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Date: 10/08/25

**Security Upgrade and Tenant Improvement at the Missoula County
Courthouse/Annex
Pre-Bid Walkthrough**

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